



Community Development Department

P. O. Box 900
Locust Grove, Georgia 30248
Phone: (770) 957-5043
Facsimile (770) 954-1223

Item Coversheet

Item: **Review of proposed landscape plan for CarMax to be located on Price Drive.**

Action Item: **Yes** **No**

Public Hearing Item: **Yes** **No**

Executive Session Item: **Yes** **No**

Advertised Date: **NA**

Budget Item: **No**

Date Received: **April 4, 2023**

Workshop Date: **April 17, 2023**

Regular Meeting Date: **May 1, 2023 (Tabled to May 15, 2023)**

Discussion:

CarMax has submitted a request for an administrative variance to reduce landscaped buffering, reduce landscaped/planted areas on the interior of the site, and reduce tree re-plantings. These three requests combined exceed the typical scope of Administrative Variances. Consequently, the proposed landscape plan is being brought to the City Council for comment.

The applicant is seeking a reduction in the required vegetated buffer from 50' to 30' due to site constraints. The applicant has agreed to install an opaque privacy fence along the perimeter of the property to help mitigate the proposed buffer reduction. The applicant shall install a decorative vinyl privacy fence in the portion of the site that borders residential areas.

The applicant also requests a reduction in landscaped/planted areas surrounding the industrial buildings and storage areas within the privacy fence. They request that only areas visible from the public right-of-way be fully landscaped.

Lastly, the applicant requests a reduction in the number of replacement trees required by the City's tree ordinance. Tree replacement presents a challenge due to the high point value for the removal of existing specimen trees and existing site constraints.

Revised plans received May 9, 2023 illustrate tree removal/replacement and proposed landscaping in greater detail.

Recommendation:

Staff requests that the City Council approve or deny our proceeding with approving the proposed landscape plan that is outside the typical scope of administrative authority.

Should the Council approve, Staff will require the following to be shown on the landscape plan:

- 1) The Applicant shall install an opaque privacy fence measuring six (6) to eight (8) feet high in areas of reduced buffering bordering single-family homes to mitigate the buffer reduction from 50' to 30'. This opaque privacy fence shall have a decorative, residential character.**
- 2) All areas visible from public right-of-way shall be landscaped in accordance with the City of Locust Grove Code of Ordinances Section 15.42**
- 3) Replacement trees shall be planted in accordance with the landscape plan dated April 25, 2023.**

ORDINANCE NO. _____

AN ORDINANCE TO APPROVE THE PROPOSED LANDSCAPE PLAN FOR CARMAX LOCATED ON PRICE DRIVE IN LAND LOT 234 OF THE 2ND DISTRICT WITHIN THE CITY OF LOCUST GROVE, GEORGIA; TO PROVIDE AN EFFECTIVE DATE; AND FOR OTHER PURPOSES

WHEREAS, the City of Locust Grove (“City”) is a municipal corporation, duly organized and existing under the laws of the State of Georgia; and,

WHEREAS, CarMax requested an administrative waiver from regulations specific to landscaping located on Price Drive (Parent Parcel ID # 111-01015000) in land lot 234 of the 2nd District (the “Property), attached hereto as **Exhibit A**; and,

WHEREAS, the Applicant filed a request for a Landscape Approval on April 3, 2023 as shown in the Letter of Intent attached hereto and incorporated herein by reference as **Exhibit B**; and,

WHEREAS, the Applicant’s request has been reviewed by the Mayor and City Council at Workshop Meetings held on April 17, 2023 and May15, 2023, as well as by the City Community Development Director; and,

WHEREAS, the requested waiver exceeds the typical scope of administrative authority, therefore Staff requests the City Council approve or deny Staff’s proceeding with the landscape plan dated February 10, 2023 and tree plan dated April 25, 2023; and,

WHEREAS, the Mayor and City Council have reviewed and considered the Applicant’s request and both the recommendations of City staff.

THEREFORE, THE COUNCIL OF THE CITY OF LOCUST GROVE HEREBY ORDAINS:

- 1.

- () That the request for waiver is hereby **APPROVED**.
- () That the request for waiver is hereby **DENIED**.

2.

That the use of the Property is subject to:

- () The condition(s) set forth on **Exhibit C** attached hereto and incorporated herein by reference.
- () The terms of the Development Agreement attached hereto as **Exhibit C** and incorporated herein by reference.
- () If no **Exhibit C** is attached hereto, then the property is zoned without conditions.

SO ORDAINED by the Council of this City this 15th day of May 2023.

ROBERT S. PRICE, Mayor

ATTEST:

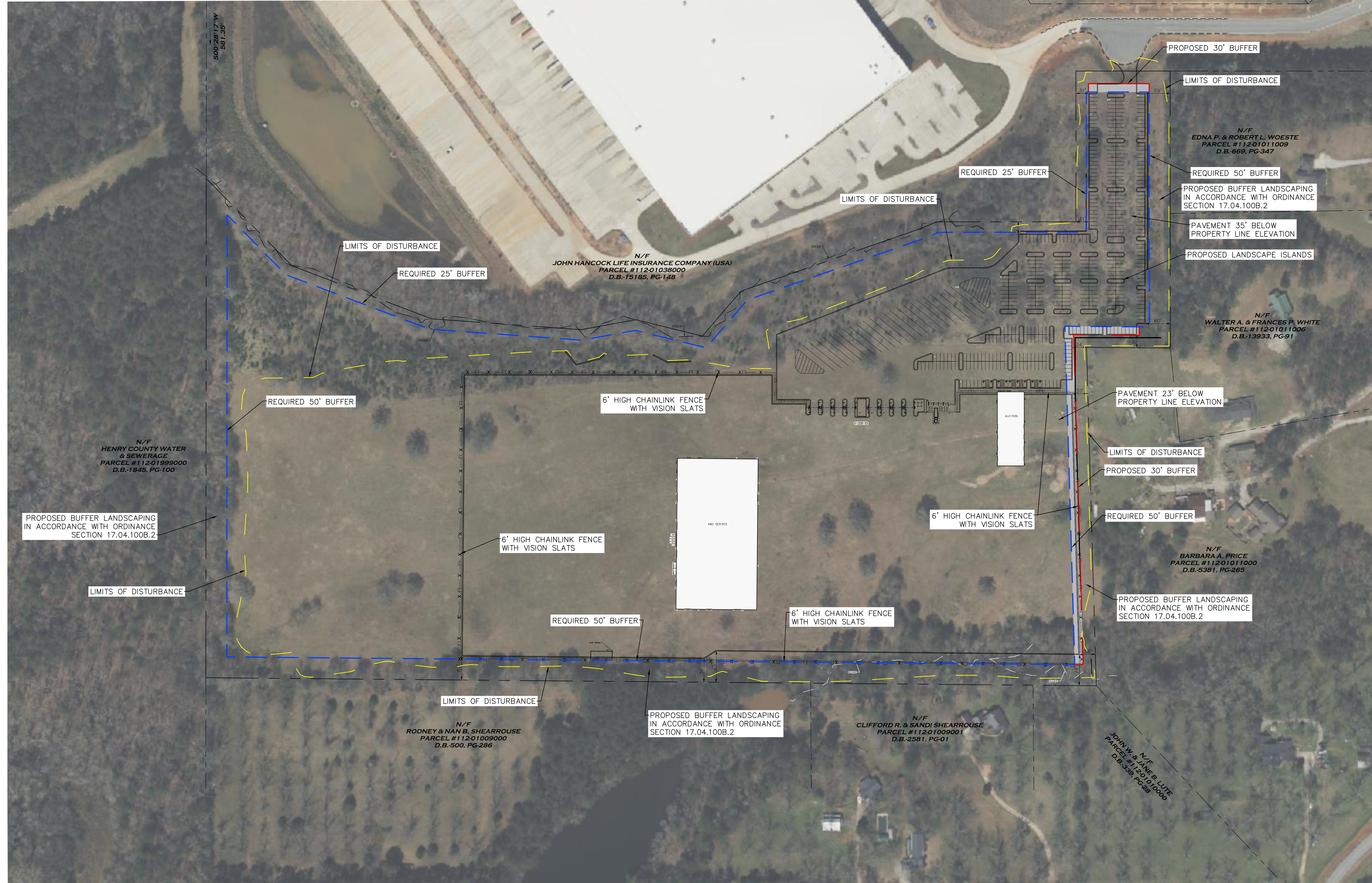
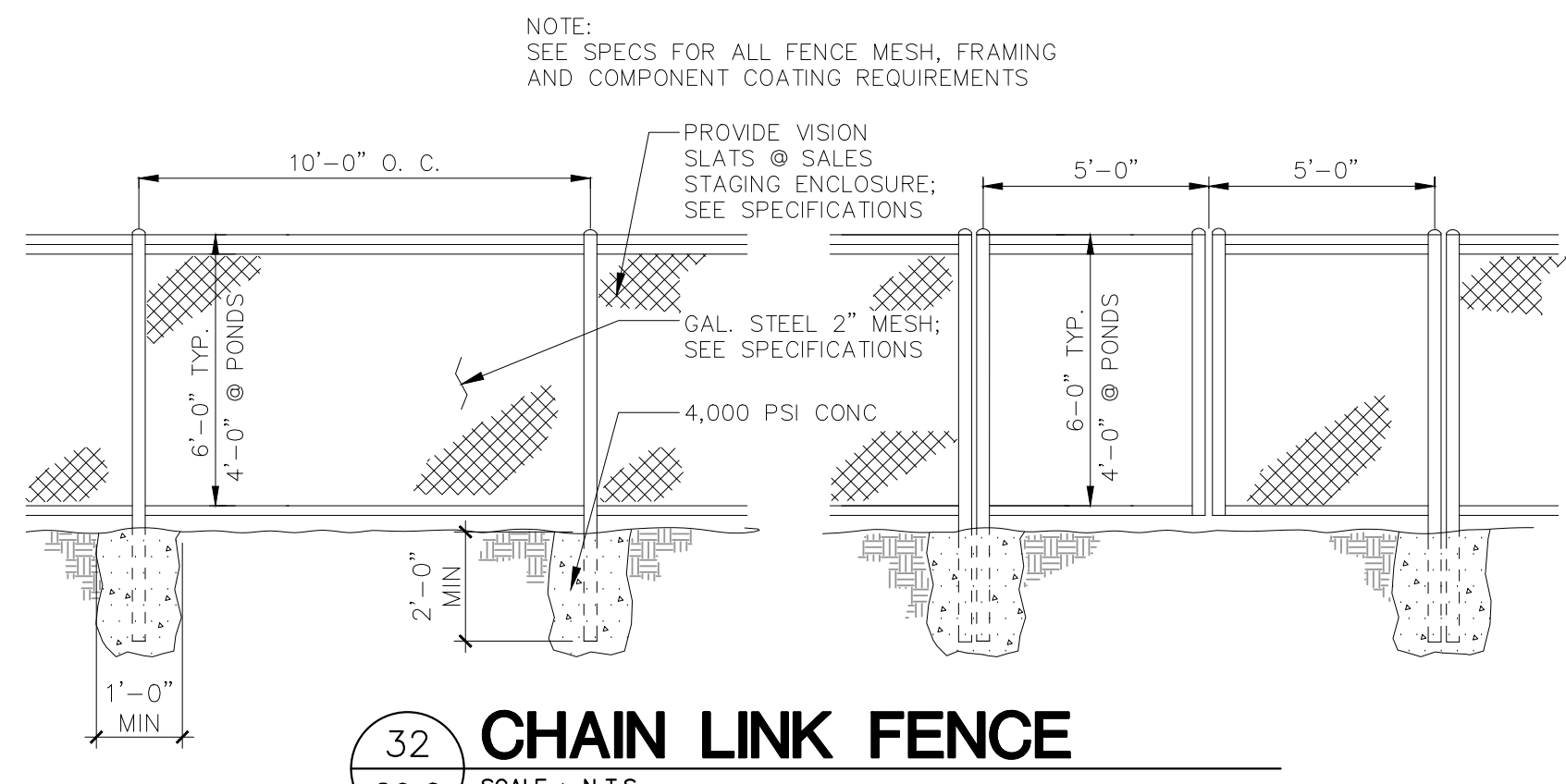
MISTY SPURLING, City Clerk

(Seal)

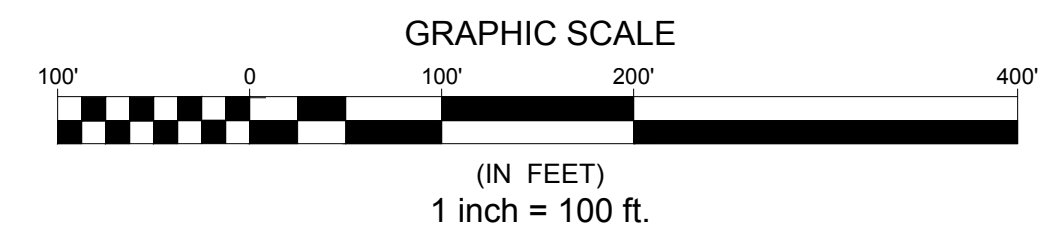
APPROVED AS TO FORM:

City Attorney

EXHIBIT A



LANDSCAPE BUFFER EXHIBIT



NOT RELEASED FOR CONSTRUCTION

LATEST DA/PC DA22-000/ PG22-000

DRAWN BY: BPR

CHECKED BY: JCM

REVISIONS

NO.	DESCRIPTION	DATE

CARmax
THE AUTO SUPERSTORE
CARMAX FINANCIAL SERVICES CORP. 1590 TUCKERMAN CREEK PARKWAY, ROCKHILL, SC 29088 (803) 717-6422

STORE NO. XXXX
PRICE DRIVE
LOCUST GROVE, GA

PROJECT NO XXXXXXXX

DATE 09 DEC 2022

SHEET TITLE

LANDSCAPE BUFFER

EXHIBIT

SHEET NO

EXISTING TREE DENSITY UNIT TABLE						
DBH (Inches)	DENSITY UNIT VALUE	QTY	HW POINT VALUE	SUBTOTALS	SPECIMEN DU'S SUBTOTAL	POINTS SUBTOTAL
4	0.1	42	8	4.2		336
5	0.1	80	8	8		640
6	0.2	37	8	7.4		296
7	0.2	33	8	6.6		264
8	0.4	82	8	32.8		656
9	0.4	15	10	6		150
10	0.6	58	10	34.8		580
11	0.6	37	10	22.2		370
12	0.8	41	10	32.8		410
13	0.8	46	15	36.8		650
14	1.2	27	15	32.4		405
15	1.2	28	15	31.2		380
16	1.8	20	15	36		300
17	1.8	5	15	9		75
18	1.8	21	15	37.8		315
19	1.8	14	15	25.2		210
20	2.6	24	15	62.4		360
21	2.6	1	15	2.6		15
22	2.6	23	15	64.4		345
23	2.8	17	15	47.6		255
24	3.4	2	20	13.6	13.6	40
25	3.4	2	20	13.6	13.6	40
26	3.8	1	20	7.6	7.6	20
27	3.8	1	20	7.6	7.6	20
28	4.4	5	20	40	40	100
30	4.4	2	20	17.6	17.6	40
31	4.4	1	20	8.8	8.8	20
33	4.6	1	20	9.2	9.2	20
34	5	1	20	10	10	20
45+	10	1	20	20	20	20
					514	5866

TOTAL DU'S SAVED	662
TOTAL POINTS FROM SAVED TREES	5866

SPECIMEN TREES TO BE REMOVED				
DBH (Inches)	DENSITY UNIT VALUE	QTY	RECOMPENSE 3X	SUBTOTALS
24	3.4	2	3	20.4
25	3.4	1	3	10.2
26	3.8	3	3	34.2
27	3.8	2	3	22.8

TOTAL DU's to Recompense 87.6

LANDSCAPE REQUIREMENTS

A. SITE DENSITY 15.38

- REQUIRED**
- SDF - EDF = RDF
SDF: 50.14 Acres x 20 DU's = 1002.8
EDF: 662 (Refer to Sheet L-001) = 662
RDF: 1002.8 - 662 = 340.8 DU's
 - No more than 30% of all trees planted for replacement density credit may be of any one species
 - No more than 10% of all trees planted for replacement density credit may be pine trees.

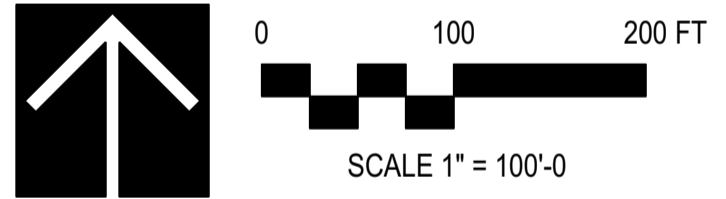
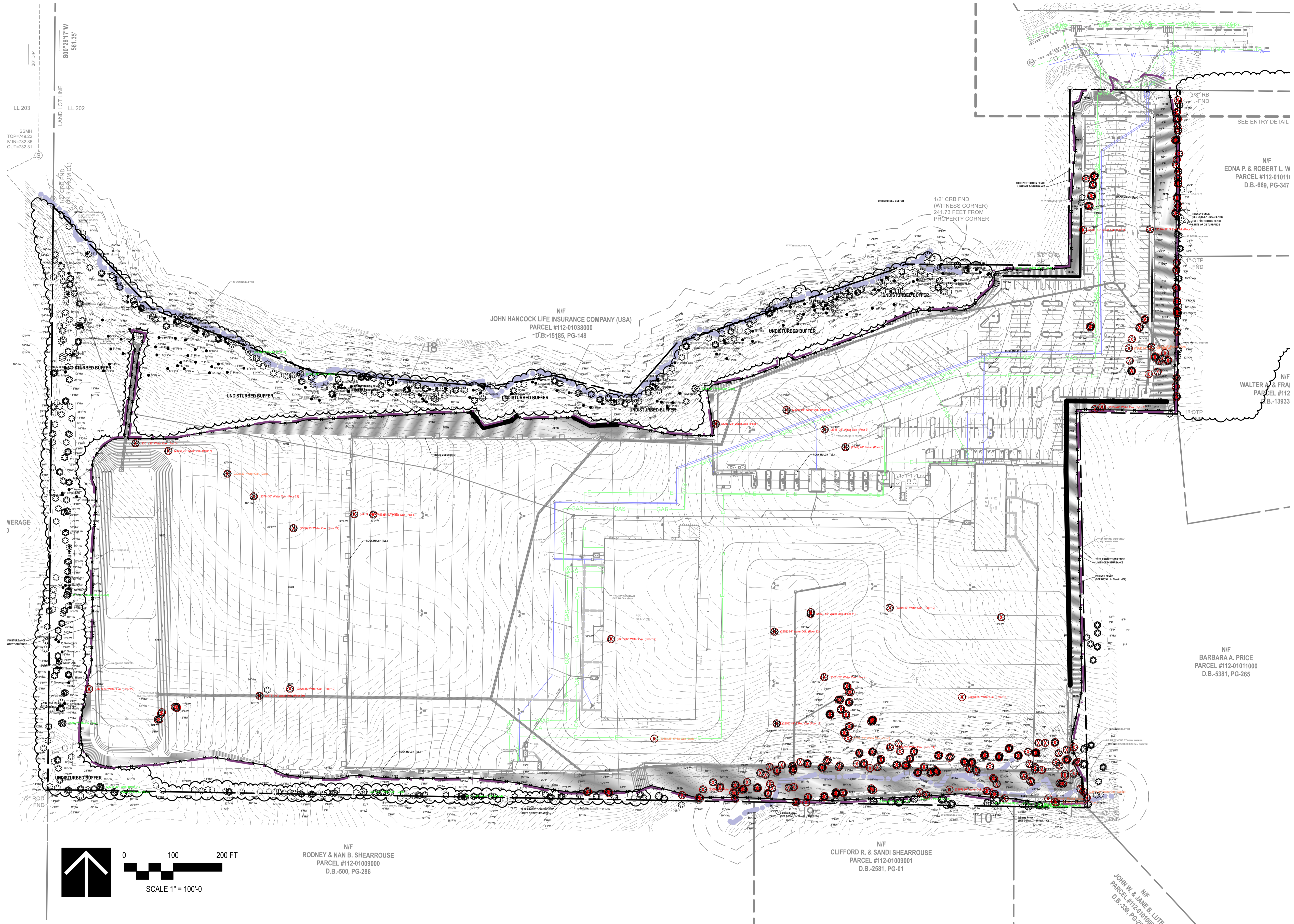
PROVIDED

Qty:	Tree:	DU Value:	
9	2" Cal. Trident Maple	.4	= 3.6
24	3" Cal. Crepe Myrtle	.5	= 12
30	4" Cal. Magnolia	.6	= 18
25	4" Cal. Black Gum	.6	= 15
36	4" Cal. Willow Oak	.6	= 21.6
16	4" Cal. Bald Cypress	.6	= 9.6
32	4" Cal. Chinese Elm	.6	= 19.2
			99 Total DU's provided
			= 241.8 DU's Needed

- No more than 21% of any one species is planted: (36) Willow Oak
- No pine trees proposed

B. PLANTING REQUIREMENT SCHEDULE 15.42

- REQUIRED**
- For any development, the point schedule shall be satisfied. 25% of the points shall be accounted for by hardwood overstory trees and at least 50% of the points shall be accounted for by a combination of overstory trees and understory trees.
Total Site Area: 2,183,977 SF
Total Paved Area: 1,211,825 SF
(2,183,977 / 400) + (1,211,825 / 200) = 11,519 Total Points
 - Interior drive aisles shall have one overstory tree per 45 LF, or portion thereof, on each side of any proposed drive aisle.
 - There shall be landscaped areas a minimum of four feet wide immediately adjacent to buildings on all four sides. Trees, shrubs, sod, or other ground cover shall be placed in those landscaped areas.
 - Vehicle use areas designed to accommodate more than twenty automobiles are required to install interior landscaped areas such as islands, peninsulas, and medians so that no more than twelve adjacent parking spaces exist without a landscaped separation at least eight feet in width.
- PROVIDED**
- 5,866 Existing Points (See sheet L-001 for breakdown) + 695 Proposed Points = 5,931 Total Points
 - Interior drive aisles have trees on both sides spaced at 35 LF
 - Landscaped areas are provided on side of parking
 - Parking landscape islands are spaced no more than 12 spaces apart.



Price Dr

Specimen Tree Report

Tree #	Species	DBH	Condition	Comments
2289	Quercus falcata S Red Oak	27"	Poor	Poor 1: Major trunk wound at root flair with hollow. Pic 1
2290	Quercus falcata S Red Oak	42"	Fair	Fair 1: U split. Pic 2
2291	Quercus nigra Water Oak	26"	Good	Tree is in good health.
2292	Liriodendron tulipifera Poplar	26"	Good	Tree is in good health.
2293	Quercus nigra Water Oak	47"	Poor	Poor 2: Split with included bark. Pic 3
2294	Quercus nigra Water Oak	27"	Fair	Fair 2: Asymmetrical canopy. Pic 4
2295	Quercus nigra Water Oak	28"	Good	Tree is in good health.
2296	Quercus nigra Water Oak	30"	Poor	Poor 3: Split with included bark. Pic 5
2297	Quercus nigra Water Oak	28"	Poor	Poor 4: Major trunk wound with hollow. Pic 6
2298	Quercus alba White Oak	30"	Good	Tree is in good health.
2299	Liriodendron tulipifera Poplar	28"	Poor	Poor 5: Major trunk wound with hollow. Pic 7
2300	Liriodendron tulipifera Poplar	30"	Poor	Poor 6: Major trunk wound with hollow. Pic 8
2301	Quercus nigra Water Oak	32"	Fair	Fair 3: One major limb loss. Pic 9
2302	Quercus nigra Water Oak	24"	Poor	Poor 7: Dieback in canopy and mistletoe throughout. Pic 10
2303	Quercus nigra Water Oak	27"	Good	Tree is in good health.

Price Dr

2347	Carya illinoensis Pecan	26"	Poor	Poor 8: Split with included bark. Pic 11
2348	Quercus nigra Water Oak	33"	Poor	Poor 9: Decline with mistletoe throughout canopy. Pic 12
2349	Quercus nigra Water Oak	47"	Poor	Poor 10: Major trunk wound with hollow and mistletoe throughout canopy. Pic 13
2350	Quercus nigra Water Oak	50"	Poor	Poor 11: Major leader loss and split with included bark. Pic 14
2351	Quercus nigra Water Oak	34"	Poor	Poor 12: Declining canopy with mistletoe throughout and major trunk wound at root flair. Pic 15
2352	Quercus nigra Water Oak	28"	Fair	Fair 4: Minor decline with some mistletoe. Pic 16
2353	Quercus falcata S Red Oak	49"	Poor	Poor 13: Split with included bark and major trunk wound. Pic 17
2354	Quercus nigra Water Oak	27"	Good	Tree is in good health.
2355	Quercus nigra Water Oak	28"	Poor	Poor 14: Split with included bark. Pic 18
2356	Quercus nigra Water Oak	25"	Poor	Poor 15: Decline with mistletoe throughout canopy. Pic 19
2357	Quercus nigra Water Oak	26"	Good	Tree is in good health.
2358	Liriodendron tulipifera Poplar	24"	Good	Tree is in good health.
2359	Liquidambar styraciflua Sweetgum	24"	Good	Tree is in good health.
2360	Liquidambar styraciflua Sweetgum	34"	Good	Tree is in good health.
2361	Quercus falcata S Red Oak	24"	Good	Tree is in good health.

Price Dr

2362	Quercus falcata S Red Oak	33"	Good	Tree is in good health.
2363	Liquidambar styraciflua Sweetgum	28"	Good	Tree is in good health.
2364	Quercus nigra Water Oak	26"	Poor	Poor 16: Decline and major dead leader. Pic 20
2365	Liriodendron tulipifera Poplar	31"	Good	Tree is in good health.
2366	Liriodendron tulipifera Poplar	48"	Fair	Fair 5: U split. Pic 21
2367	Quercus nigra Water Oak	32"	Poor	Poor 17: Decline with mistletoe throughout canopy. Pic 22
2368	Quercus alba White Oak	25"	Good	Tree is in good health.
2369	Quercus nigra Water Oak	34"	Poor	Poor 18: Split with included bark. Pic 23
2370	Quercus nigra Water Oak	26"	Good	Tree is in good health.
2371	Quercus nigra Water Oak	24"	Good	Tree is in good health.
2372	Quercus nigra Water Oak	35"	Poor	Poor 19: Major trunk wound with hollow. Pic 24
2373	Quercus nigra Water Oak	30"	Poor	Poor 20: Major trunk wound with hollow. Pic 25
2374	Liriodendron tulipifera Poplar	28"	Good	Tree is in good health.
2375	Liriodendron tulipifera Poplar	28"	Poor	Poor 21: Major trunk wound with hollow. Pic 26
2376	Fagus grandifolia Beech	25"	Good	Tree is in good health.
2377	Quercus nigra Water Oak	34"	Poor	Poor 22: Dead top. Pic 27

Price Dr

2378	Quercus nigra Water Oak	25"	Good	Tree is in good health.
2379	Quercus nigra Water Oak	36"	Poor	Poor 23: Split with included bark and decline in canopy. Pic 28
2380	Quercus nigra Water Oak	33"	Poor	Poor 24: Decline with mistletoe throughout canopy. Pic 29
2381	Quercus nigra Water Oak	28"	Poor	Poor 25: Split with included bark. Pic 30
2382	Quercus nigra Water Oak	42"	Fair	Fair 6: Some mistletoe in canopy. Pic 31

Specimen Tree Summary: 51
Excellent Condition: 0
Good Condition: 20
Fair Condition: 6
Poor Condition: 25



REVISION SCHEDULE:
NO. DATE BY DESCRIPTION

MLD PROJECT #: 2022289
DRAWN BY: MB
CHECKED BY: AN
DATE: 4/25/23

PLANT LIST

Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Trees				
9	Acer buergerianum	Trident Maple	2" Cal.	B & B
33	Lagerstroemia indica 'Natchez'	Natchez Crepe Myrtle	8"-10" Hgt. x 5'-6" Spr.	Multi-trunked
24	Lagerstroemia indica 'White II'	Dynamic Crepe Myrtle	2" Cal.	Multi-stem: Minimum of 1" Cal. each stem
37	Magnolia grandiflora	Southern Magnolia	4" Cal.	Full to ground
22	Nyssa sylvatica	Black Gum	4" Cal., 14' Hgt.	B & B: single straight leader
25	Pinus taeda	Loblolly Pine	1" Cal.	Container, well branched
35	Quercus phellos	Willow Oak	3" Cal., 10' Hgt.	B & B: single straight leader
16	Taxodium distichum	Bald Cypress	4" Cal., 14' Hgt.	B & B: single straight leader
32	Ulmus parvifolia 'Chinese'	Chinese Elm	4" Cal., 14' Hgt.	B & B
Shrubs				
189	Azalea 'George L. Taber'	George L. Taber Azalea	3 Gal.; Full 18"-24"	Plant 72" O.C.
124	Ilex cornuta 'Needlepoint'	Needlepoint Holly	3 Gal.	
949	Juniperus squamata expansa 'Parsoni'	Parson's Juniper	3 Gal.	Plant 30" O.C.
269	Miscanthus sinensis 'Gracillimus'	Maiden Grass	3 Gal.	
Groundcovers				
499089	Eragrostis	Lovegrass	SF: Seed	Shall be planted when temps reach 60 degrees plus
2782	Cynodon dactylon	Hybrid Bermuda Grass	SF: Sod	
Other				

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REQUIRED

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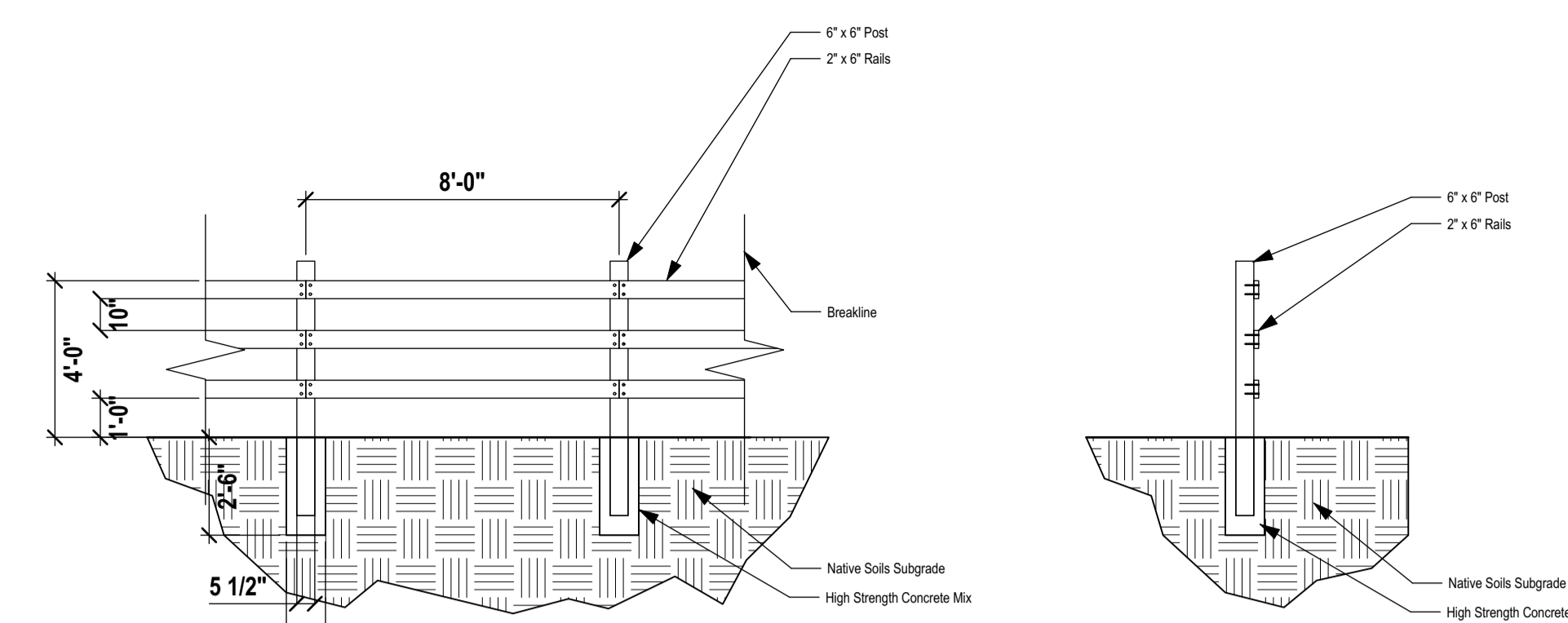
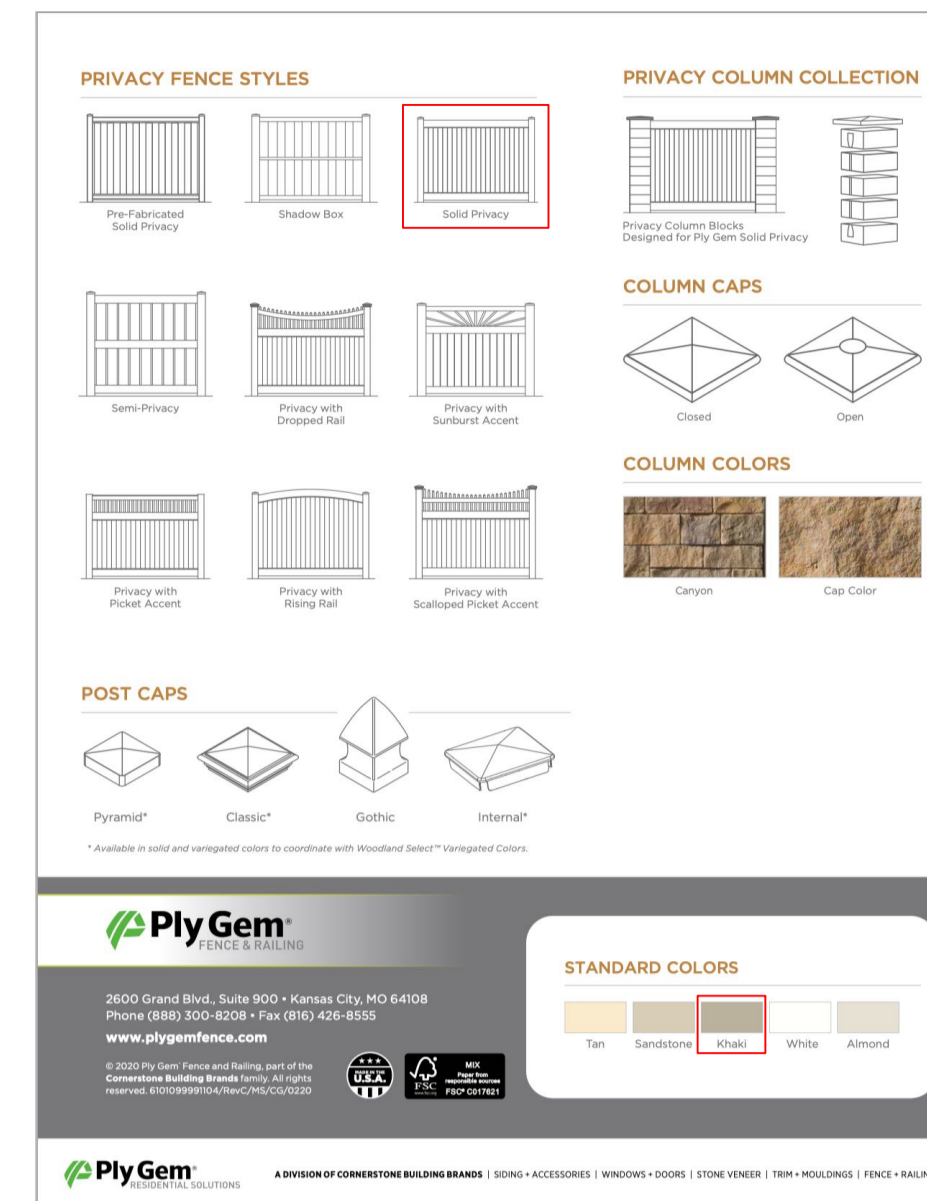
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- Parking landscape islands are spaced no more than 12 spaces apart.

GENERAL LANDSCAPE NOTES

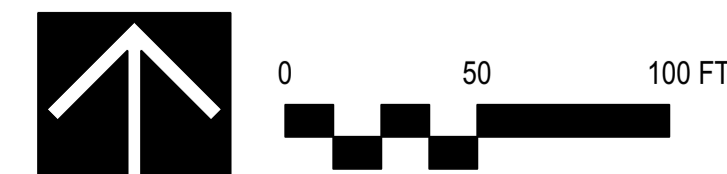
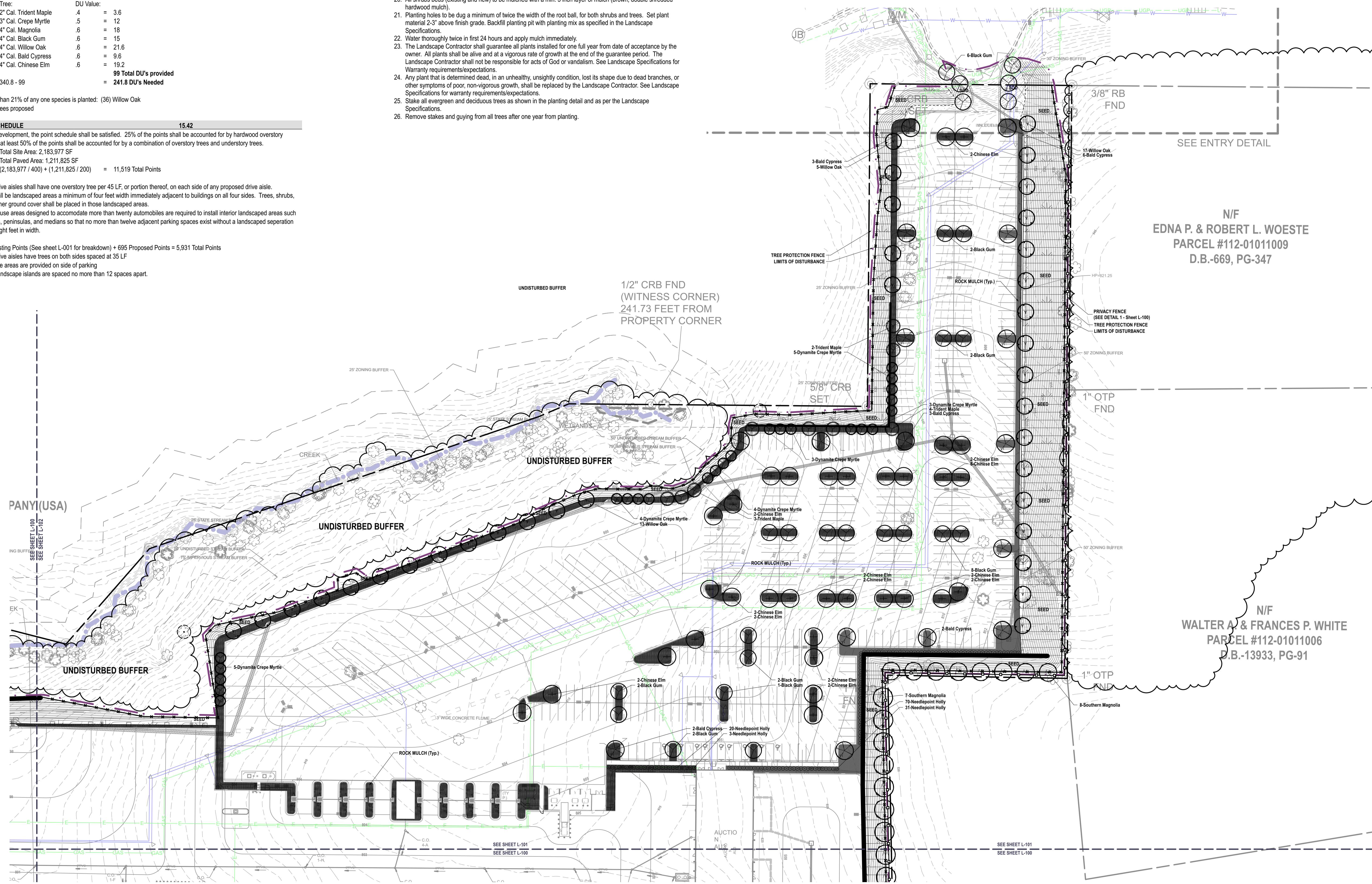
- Landscape Contractor to read and understand the Landscape Details and Specifications prior to finalizing bids.
- The Landscape Specifications shall be adhered to throughout the construction process.
- Contractor is responsible for locating and protecting all underground utilities prior to digging.
- Contractor is responsible for protecting existing trees from damage during construction.
- Contractor is responsible for understanding and adhering to all constraints and limits of the site ie: Code requirements as stated on the landscape plan, minimum plant sizes in the plant list, property boundaries, limits of disturbance, easements and buffers.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- Tree protection areas to be protected from sedimentation.
- Tree protection fencing shall be inspected daily, repair or replaced as needed.
- No parking, storage or other construction activities shall occur within tree protection areas.
- All planting areas shall be cleaned of construction debris (ie, concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
- Minimum 4" depth of topsoil shall be added to all planting and sodded areas. Graded areas shall be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
- Remove debris from all parking lot islands, fracture/loosen subgrade to a min. 24" depth and add topsoil to a 6'-8" bermed height above island curbing; refer to landscape specifications and landscape island detail.
- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Any deviations from the approved set of plans shall be approved by the Landscape Architect.
- Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
- Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched; see Landscape Details.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentions to be repaired.
- Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
- Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 3 inch depth of mini nuggets.
- All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of mulch (brown, double shredded hardwood mulch).
- Planting holes to be dug a minimum of twice the width of the root ball, for both shrubs and trees. Set plant material 2'-3" above finish grade. Backfill planting pit with planting mix as specified in the Landscape Specifications.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
- Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
- Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
- Remove stakes and guying from all trees after one year from planting.



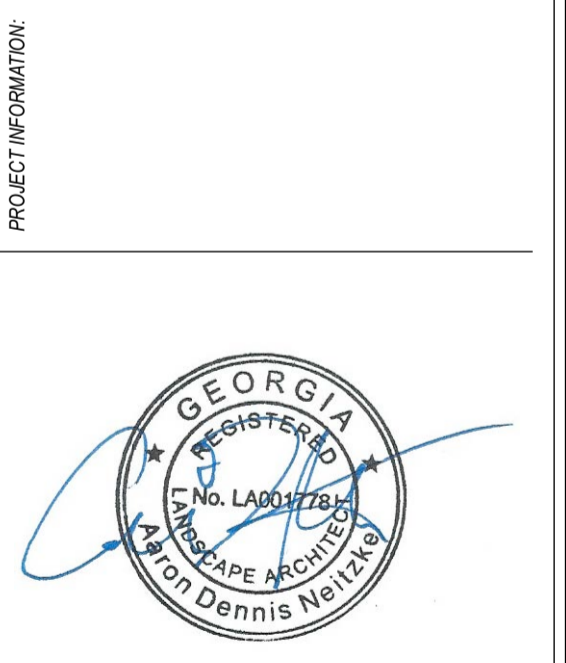
- NOTE**
- Fence Lumber shall be #1 Grade Lumber
 - Fence hardware shall be heavy duty galvanized screws
 - Minimum depth of fence post hole shall be 30"

1 PLY GEM PRIVACY FENCE
SCALE: NTS

2 3 RAIL FENCE
SCALE: NTS



CLIENT:



REVISION SCHEDULE:
NO. DATE BY DESCRIPTION

MLD PROJECT #: 2022289
DRAWN BY: MB
CHECKED BY: AN
DATE: 2/10/23

Landscape Plan

CLIENT:



CARMAX THE AUTO SUPERSTORE WEST COAST, INC.
1000 TUCKER DRIVE, CHESAPEAKE, VA 23040
(804) 747-9422

LOCUST GROVE CARMAX

Price Drive
Locust Grove, GA 30248

PROJECT INFORMATION:



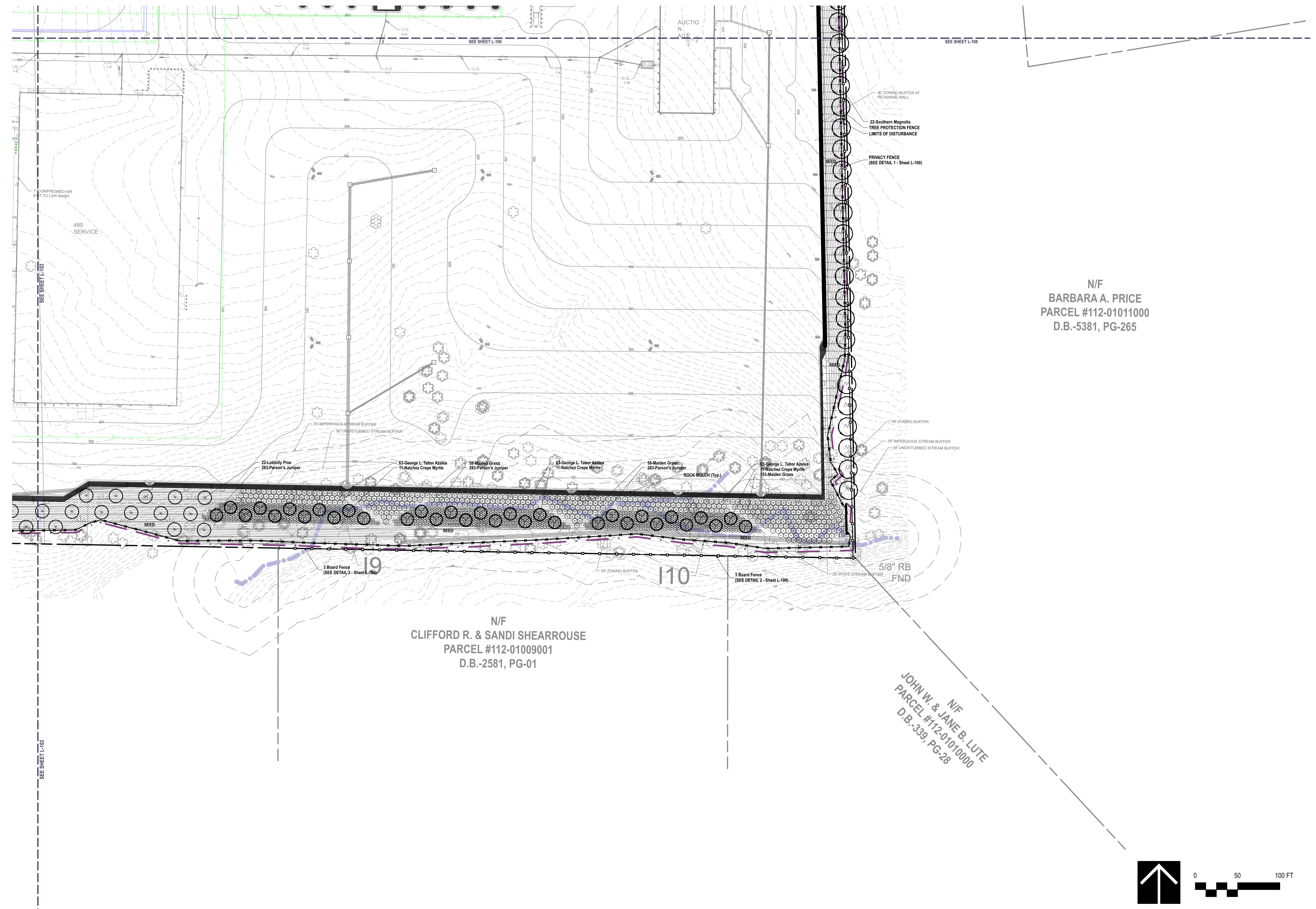
REVISION SCHEDULE:
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DATE: 2/10/23

Landscape Plan

PERMIT

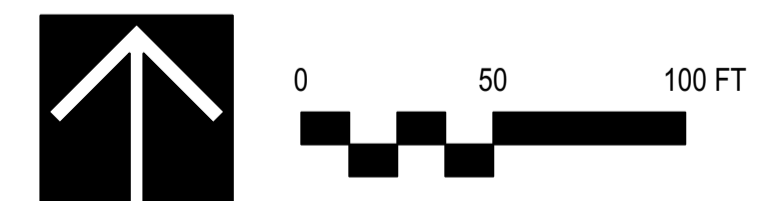
L-101



N/F
BARBARA A. PRICE
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D.B.-5381, PG-265

N/F
CLIFFORD R. & SANDI SHEARROUSE
PARCEL #112-01009001
D.B.-2581, PG-01

N/F
JOHN W. & JANE B. LUTE
PARCEL #112-01010000
D.B.-339, PG-28



CLEVT:

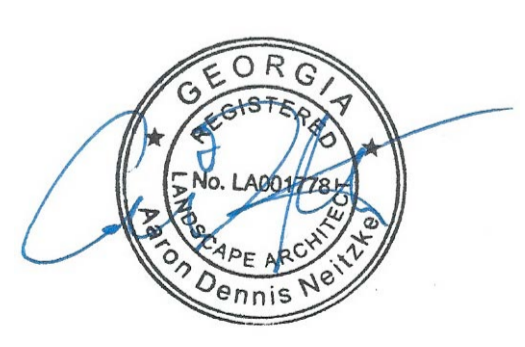


CARMAX THE AUTO SUPERSTORE WEST COAST, INC.
1000 TUCUMCUM CREEK PARKWAY, RICHMOND, VA 23228
804.747.9422

LOCUST GROVE CARMAX

Price Drive
Locust Grove, GA 30248

PROJECT INFORMATION:



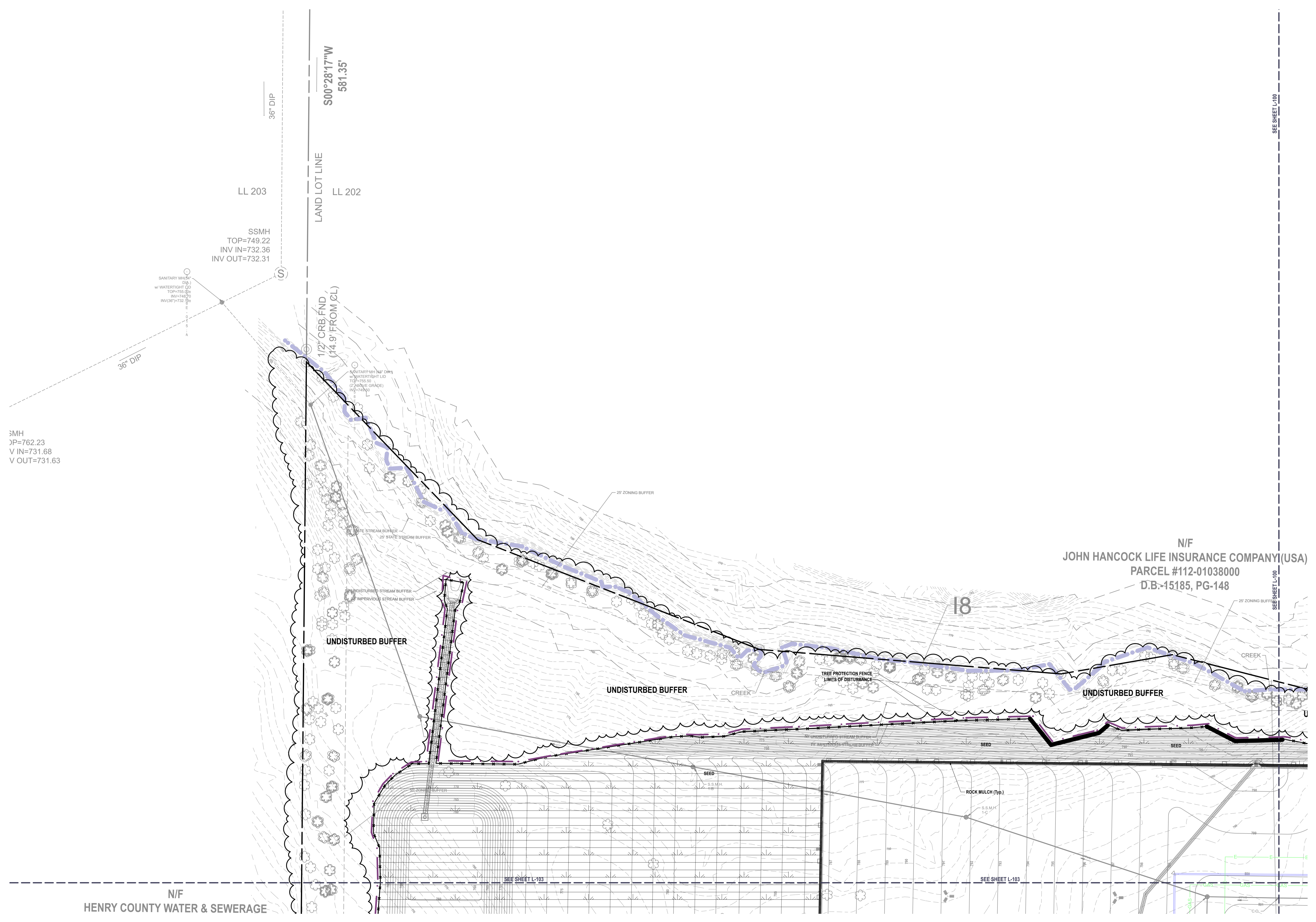
REVISION SCHEDULE:
NO. DATE BY DESCRIPTION

MLD PROJECT #: 2022289
DRAWN BY: MB
CHECKED BY: AN
DATE: 2/10/23

Landscape Plan

PERMIT

L-102



CLIENT:



LOCUST GROVE CARMAX
Price Drive
Locust Grove, GA 30248

PROJECT INFORMATION:



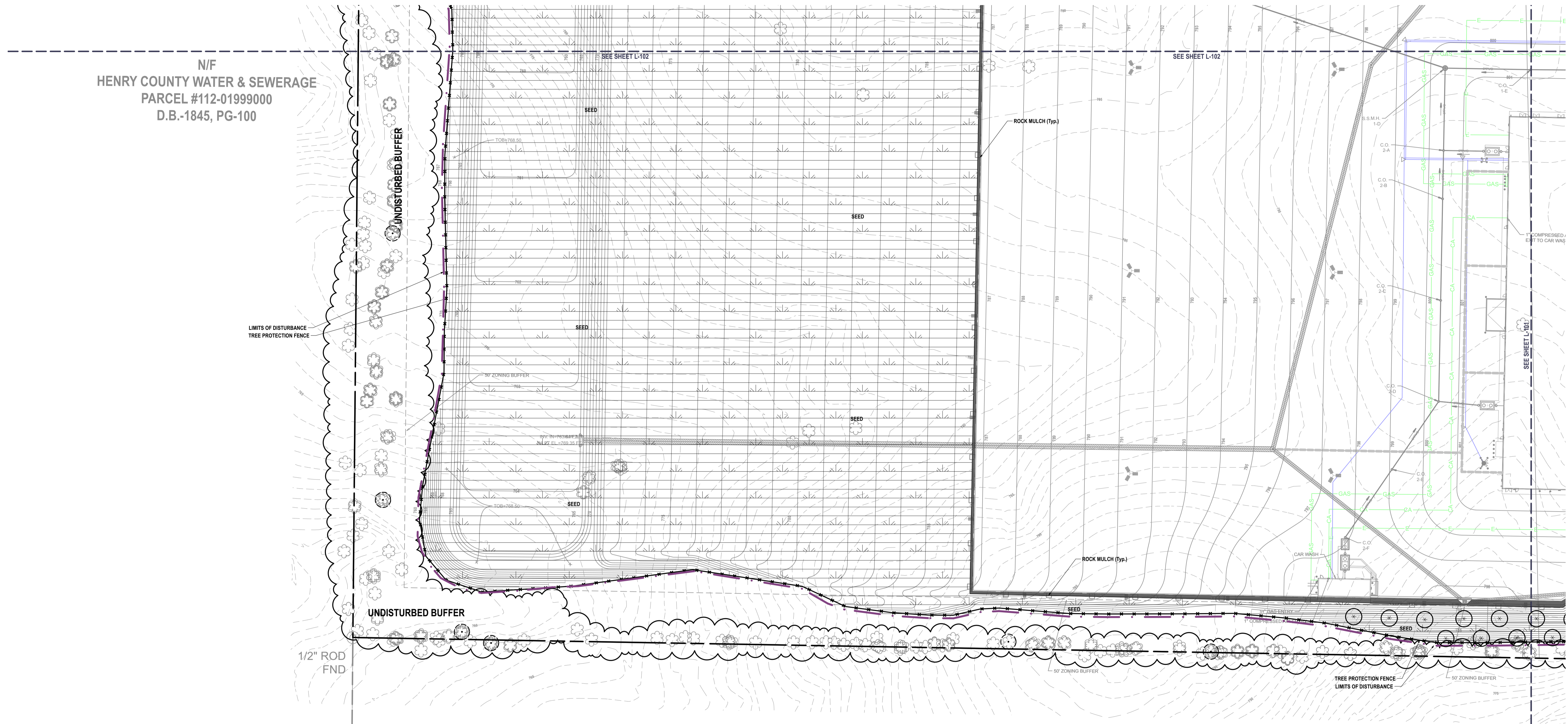
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Landscape Plan

PERMIT

L-103

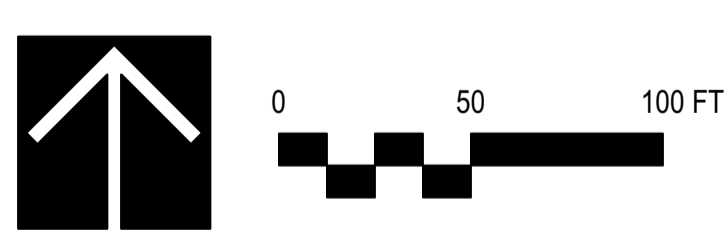


N/F
HENRY COUNTY WATER & SEWERAGE
PARCEL #112-01999000
D.B.-1845, PG-100

LL 203

LL 202

N/F
RODNEY & NAN B. SHEARROUSE
PARCEL #112-01009000
D.B.-500, PG-286



LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

DESCRIPTION

Provide trees, shrubs, ground covers, sod, and annuals/perennials as shown and specified on the landscape plan. The work includes:

1. Soil preparation.
2. Trees, shrubs, ground covers, and annuals/perennials.
3. Planting mixes.
4. Top Soil, Mulch and Planting accessories.
5. Maintenance.
6. Decorative stone.

Related Work:
1. Irrigation System; see irrigation specifications (if provided)

QUALITY ASSURANCE

Plant names indicated; comply with "Standardized Plant Names" as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties not listed conform generally with names accepted by the nursery trade. Provide stock true to botanical name and legibly tagged.

Comply with sizing and grading standards of the latest edition of "American Standard for Nursery Stock". A plant shall be dimensioned as it stands in its natural position.

All plants shall be nursery grown under climatic conditions similar to those in the locality of the project for a minimum of 2 years.

Nursery Stock furnished shall be at least the minimum size indicated. Larger stock is acceptable, at no additional cost, and providing that the larger plants will not be cut back to size indicated. Provide plants indicated by two measurements so that only a maximum of 25% are of the minimum size indicated and 75% are of the maximum size indicated.

Before submitting a bid, the Contractor shall have investigated the sources of supply and be satisfied that they can supply the listed plants in the size, variety and quality as specified. Failure to take this precaution will not relieve the Contractor from their responsibility for furnishing and installing all plant materials in strict accordance with the Contract Documents without additional cost to the Owner. The Landscape Architect shall approve any substitutes of plant material, or changes in plant material size, prior to the Landscape Contractor submitting a bid.

DELIVER, STORAGE AND HANDLING

Take all precautions customary in good trade practice in preparing plants for moving. Workmanship that fails to meet the highest standards will be rejected. Spray deciduous plants in foliage with an approved "Anti-Desiccant" immediately after digging to prevent dehydration. Dig, pack, transport, and handle plants with care to ensure protection against injury. Inspection certificates required by law shall accompany each shipment invoice or order to stock. Protect all plants from drying out. If plants cannot be planted immediately upon delivery, properly protect them with soil, wet peat moss, or in a manner acceptable to the Landscape Architect. Water heeled-in plantings daily. No plant shall be bound with rope or wire in a manner that could damage or break the branches. Cover plants transported on open vehicles with a protective covering to prevent wind burn.

PROJECT CONDITIONS

Protect existing utilities, paving, and other facilities from damage caused by landscape operations.

A complete list of plants, including a schedule of sizes, quantities, and other requirements are shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.

The irrigation system will be installed prior to planting. Locate, protect and maintain the irrigation system during planting operations. Repair irrigation system components damaged during planting operations; at the Contractor's expense. Refer to the irrigation specifications, irrigation plan and irrigation details.

Do not begin landscape accessory work before completion of final grading or surfacing.

WARRANTY

Warrant plant material to remain alive, be healthy and in a vigorous condition for a period of 1 year after completion and final acceptance of entire project.

Replace, in accordance with the drawings and specifications, all plants that are dead or, are in an unhealthy, or unsightly condition, and have lost their natural shape due to dead branches, or other causes due to the Contractor's negligence. The cost of such replacement(s) is at the Contractor's expense. Warrant all replacement plants for 1 year after installation.

Warranty shall not include damage, loss of trees, plants, or ground covers caused by fires, floods, freezing rains, lightning storms, winds over 75 miles per hour, winter kill caused by extreme cold, severe winter conditions not typical of planting area, and/or acts of vandalism or negligence on a part of the Owner.

Remove and immediately replace all plants, found to be unsatisfactory during the initial planting installation.

Maintain and protect plant material, lawns, and irrigation until final acceptance is made.

ACCEPTANCE

Inspection of planted areas will be made by the Owner's representative.
1. Planted areas will be accepted provided all requirements, including maintenance, have been complied with and plant materials are alive and in a healthy, vigorous condition.

Upon acceptance, the Contractor shall commence the specified plant maintenance.

CODES, PERMITS AND FEES

Obtain any necessary permits for this Section of Work and pay any fees required for permits.

The entire installation shall fully comply with all local and state laws and ordinances, and with all established codes applicable thereto; also as depicted on the landscape and irrigation construction set.

PART 2 - PRODUCTS

MATERIALS

Plants: Provide typical of their species or variety, with normal, densely developed branches and vigorous, fibrous root systems. Provide only sound, healthy, vigorous plants free from defects, disfiguring knots, sun scald injuries, frost cracks, abrasions of the bark, plant diseases, insect eggs, borers, and all forms of infestation. All plants shall have a fully developed form without voids and open spaces. Plants held on storage will be rejected if they show signs of growth during the storage period.

1. Balled and plants wrapped with burlap, to have firm, natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Provide ball sizes complying with the latest edition of the "American Standard for Nursery Stock". Cracked or mushroomed balls, or signs of circling roots are not acceptable.
2. Container-grown stock: Crown in a container for sufficient length of time for the root system to have developed to hold its soil together, firm and whole.
 - a. No plants shall be loose in the container.
 - b. Container stock shall not be pot bound.
3. Plants planted in rows shall be matched in form.
4. Plants larger than those specified in the plant list may be used when acceptable to the Landscape Architect.
 - a. If the use of larger plants is acceptable, increase the spread of roots or root ball in proportion to the size of the plant.
5. The height of the trees, measured from the crown of the roots to the top of the top branch, shall not be less than the minimum size designated in the plant list.
6. No pruning wounds shall be present with a diameter of more than 1" and such wounds must show vigorous bark on all edges.
7. Evergreen trees shall be branched to the ground or as specified in plant list.
8. Shrubs and small plants shall meet the requirements for spread and height indicated in the plant list.
 - a. The measurements for height shall be taken from the ground level to the height of the top of the plant and not the longest branch.
 - b. Single stemmed or thin plants will not be accepted.
 - c. Side branches shall be generous, well-twigged, and the plant as a whole well-bushes to the ground.
 - d. Plants shall be in a moist, vigorous condition, free from dead wood, bruises, or other root or branch injuries.

ACCESSORIES

Topsoil: Shall be Fertile, friable, natural topsoil of foamy character, without admixture of subsoil material, obtained from a well-drained arable site, reasonably free from clay, lumps, coarse sands, stones, roots, sticks, and other foreign materials, with acidity range of between pH 6.0 and 6.8.

Note: All planting areas shall be cleaned of construction debris (ie. Concrete, rubble, stones, building material, etc.) prior to adding and spreading of the top soil.

1. **Soil Areas:** Spread a minimum 4" layer of top soil and rake smooth.
2. **Planting bed areas:** Spread a minimum 4" layer of top soil and rake smooth.
3. **Landscape Islands/Medians:** Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosed, add topsoil to a minimum berm 6"-8" height above island curbing.
4. **Annual/Perennial bed areas:** Add a minimum of 4" organic matter and till to a minimum 12" depth.

- Mulch: Type selected dependent on location of plantings. Hold mulch 4" from tree trunks and shrub stems.
1. **Hardwood:** 6 month old well rotted shredded native hardwood bark mulch not larger than 4" in length and 1/2" in width, free of wood chips and sawdust. Install minimum depth of 3". Color: Dark brown.
 2. **Mini Nuggets:** Install to a minimum depth of 2"-3" at all locations of annual and perennial beds. Lift the stems and leaves of the annuals and carefully spread the mulch to avoid injuring the plants. Gently brush the mulch off the plants.
 3. **River Rock (when needed):** (color) light gray to buff to dark brown, washed river rock, 1" - 3" in size. Install in shrub beds to an even depth of 3". Weed control barrier to be installed under all rock mulch areas. Use caution during installation not to damage plant material.

Guying/Staking:

1. As per details.
2. Remove Guying/Staking after one year from planting.

Tree Wrap: Tree wraps should be used on young, newly planted thin-barked trees (Cherry, Crabapple, Honey Locust, Linden, Maple, Mountain Ash, Plum) that are most susceptible to sun scald/Sunburn. Standard waterproofed tree wrapping paper, 2-1/2" wide, made of 2 layers of crepe Draft paper weighing not less than 30 lbs. per ream, cemented together with asphalt. Wrap the tree in the fall and leave the wrap in place throughout the winter and early spring. Tree wraps are temporary and no longer needed once trees develop corky bark.

PART 3 - EXECUTION

INSPECTION

Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve top soil if provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.

PREPARATION

Planting shall be performed only by experienced workmen familiar with planting procedures under the supervision of a qualified supervisor.

Locate plants as indicated on the plans or as approved in the field after staking by the Landscape Contractor. If obstructions are encountered that are not shown on the drawings, do not proceed with planting operations until alternate plant locations have been selected and approved by the Landscape Architect; spacing of plant material shall be as shown on the landscape plan.

Excavate circular plant pits with vertical sides, except for plants specifically indicated to be planted in beds. Provide shrub pits at least 12" greater than the diameter of the root system and 24" greater for trees. Depth of pit shall accommodate the root system. Provide undisturbed sub grade to hold root ball at nursery grade as shown on the drawings.

INSTALLATION
Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and faced to give the best appearance or relationship to each other or adjacent structure. Set plant material 2" - 3" above the finish grade. No filling will be permitted around trunks or stems. Backfill the pit with topsoil mix and excavated material. Do not use frozen or muddy mixtures for backfilling. Form a ring of soil around the edge of each planting pit to retain water.

After balled and wrapped in burlap plants are set, muddle planting soil mixture around bases of balls and fill all voids.
1. Remove all burlap, ropes, and wires from the top 1/3 of the root ball

Space ground cover plants in accordance with indicated dimensions. Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants. Plant within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

Mulching:

1. Mulch tree and shrub planting pits and shrub beds with required mulching material; depth of mulch as noted above. **Hold mulch back 4" away from tree trunks and shrub stems.** Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.

Decorative Stone: (where indicated on landscape plan or as approved during installation)
1. Install weed control barrier over sub-grade prior to installing stone. Lap 6" on all sides.
2. Place stone without damaging weed barrier.
3. Arrange stones for best appearance and to cover all weed barrier fabric.

Wrapping, guying, staking:

1. Inspect trees for injury to trunks, evidence of insect infestation, and improper pruning before wrapping.
2. **Wrapping:**
 - a. Wrap trunks of all young newly planted trees known to have thin bark. Wrap spirally from bottom to top with specified tree wrap and secure in place.
 - b. Overlap 1/2 the width of the tree wrap strip and cover the trunk from the ground to the height of the second branch.
 - c. Secure tree wrap in place with twine wound spirally downward in the opposite direction, tied around the tree in at least 3 places in addition to the top and bottom.
 - d. Wrap the trees in the fall and leave the wrap in place throughout the winter and early spring.
3. Tree wraps are temporary and no longer needed once the trees develop corky bark.
4. **Staking/Guying:**
 - a. Stake/guy all trees immediately after lawn sodding operations and prior to acceptance.
 - b. Stake deciduous trees as per details.
 1. Stakes are placed in line with prevailing wind direction and driven into undisturbed soil.
 2. Ties are attached to the tree, usually at the lowest branch.
 - c. Guy deciduous trees as per details.
 - d. **Remove all guying and staking after one year from planting.**

Pruning:
1. Prune deciduous trees and evergreens only to remove broken or damaged branches.

WORKMANSHIP
During landscape/irrigation installation operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures. All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

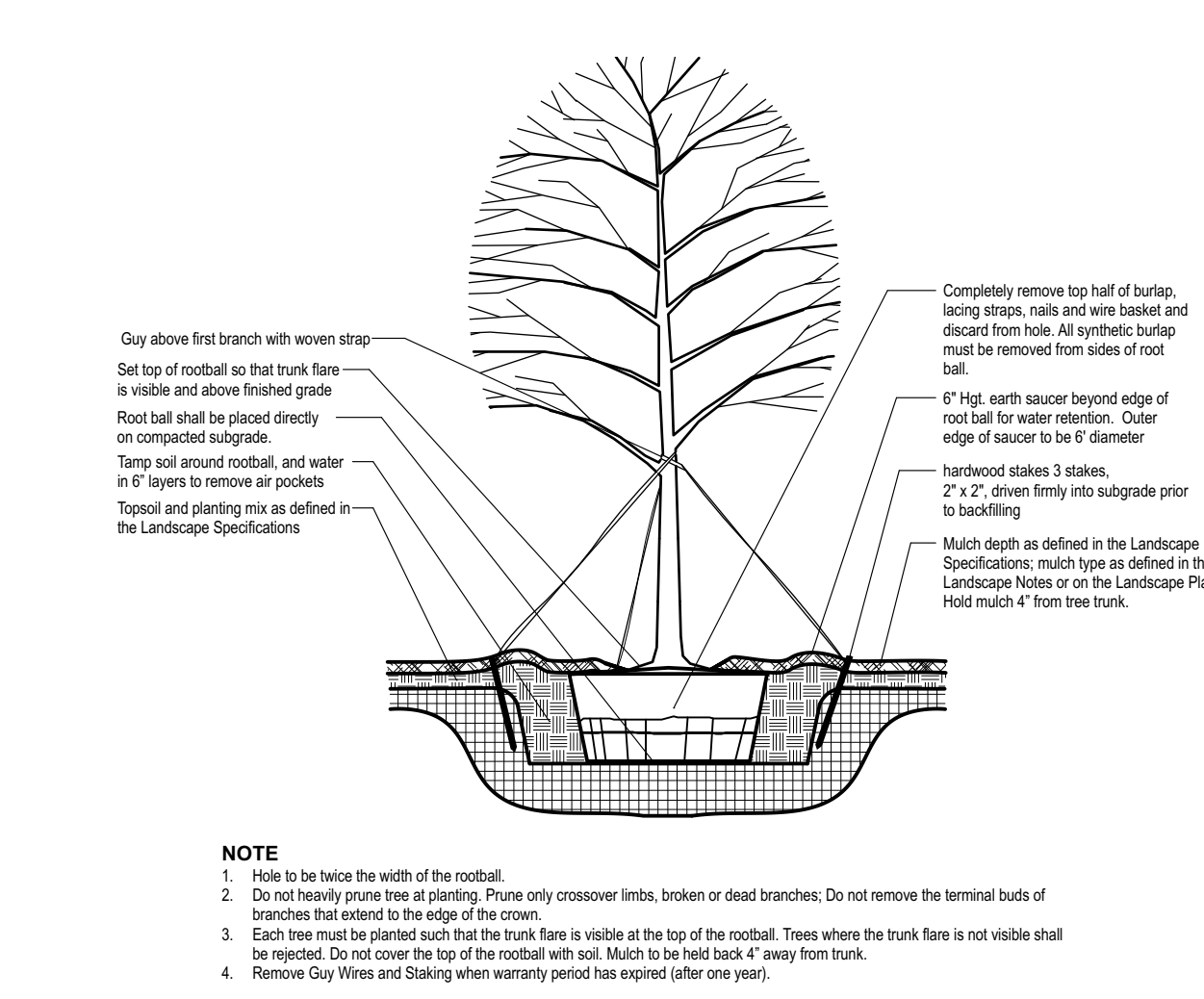
Upon completion of installation operations, all excess materials, equipment, debris and waste material shall be cleaned up and removed from the site; unless provisions have been granted by the owner to use on-site trash receptacles. Sweep parking and walks clean of dirt and debris. Remove all plant tags and other debris from lawns and planting areas.

Any damage to the landscape, the structure, or the irrigation system caused by the landscape contractor shall be repaired by the landscape contractor without charge to the owner.

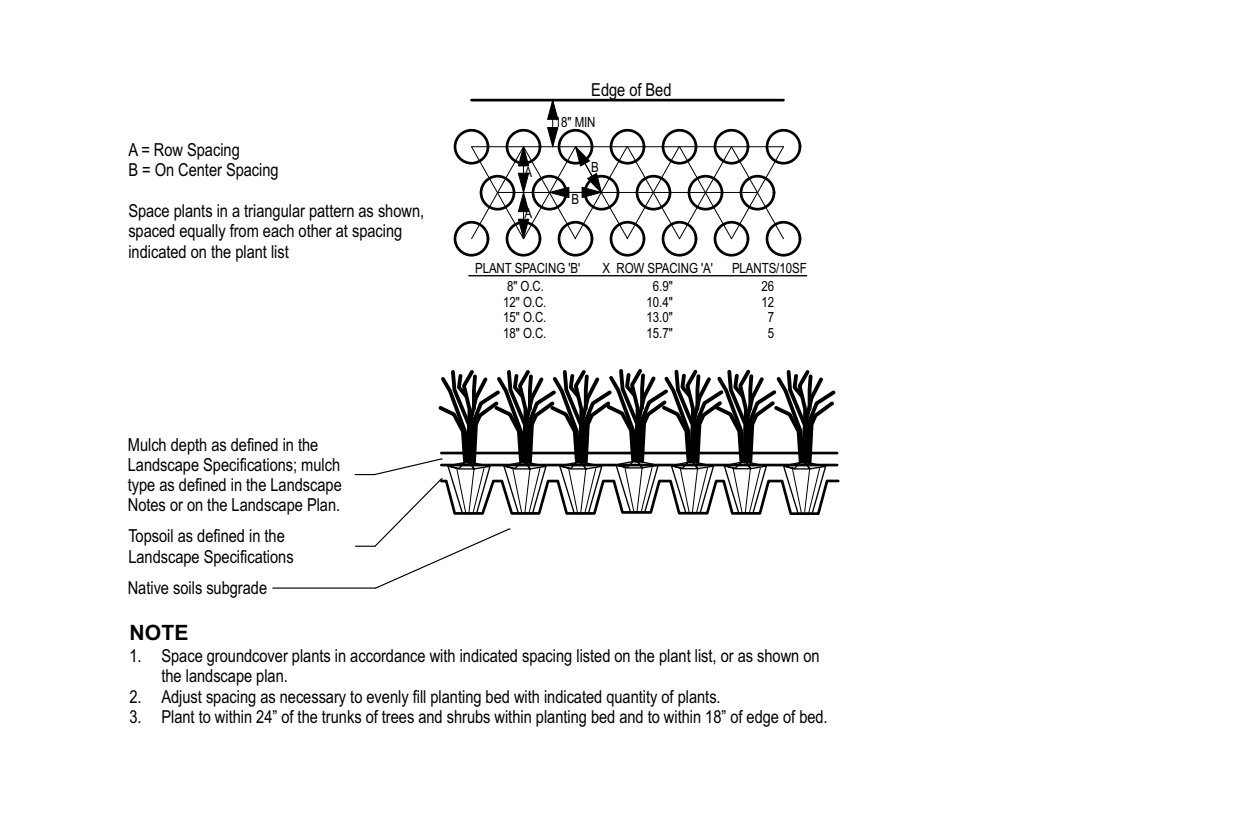
MAINTENANCE
Contractor shall provide maintenance until work has been accepted by the Owner's Representative.

Maintenance shall include mowing, fertilizing, mulching, pruning, cultivation, weeding, watering, and application of appropriate insecticides and fungicides necessary to maintain plants and lawns free of insects and disease.

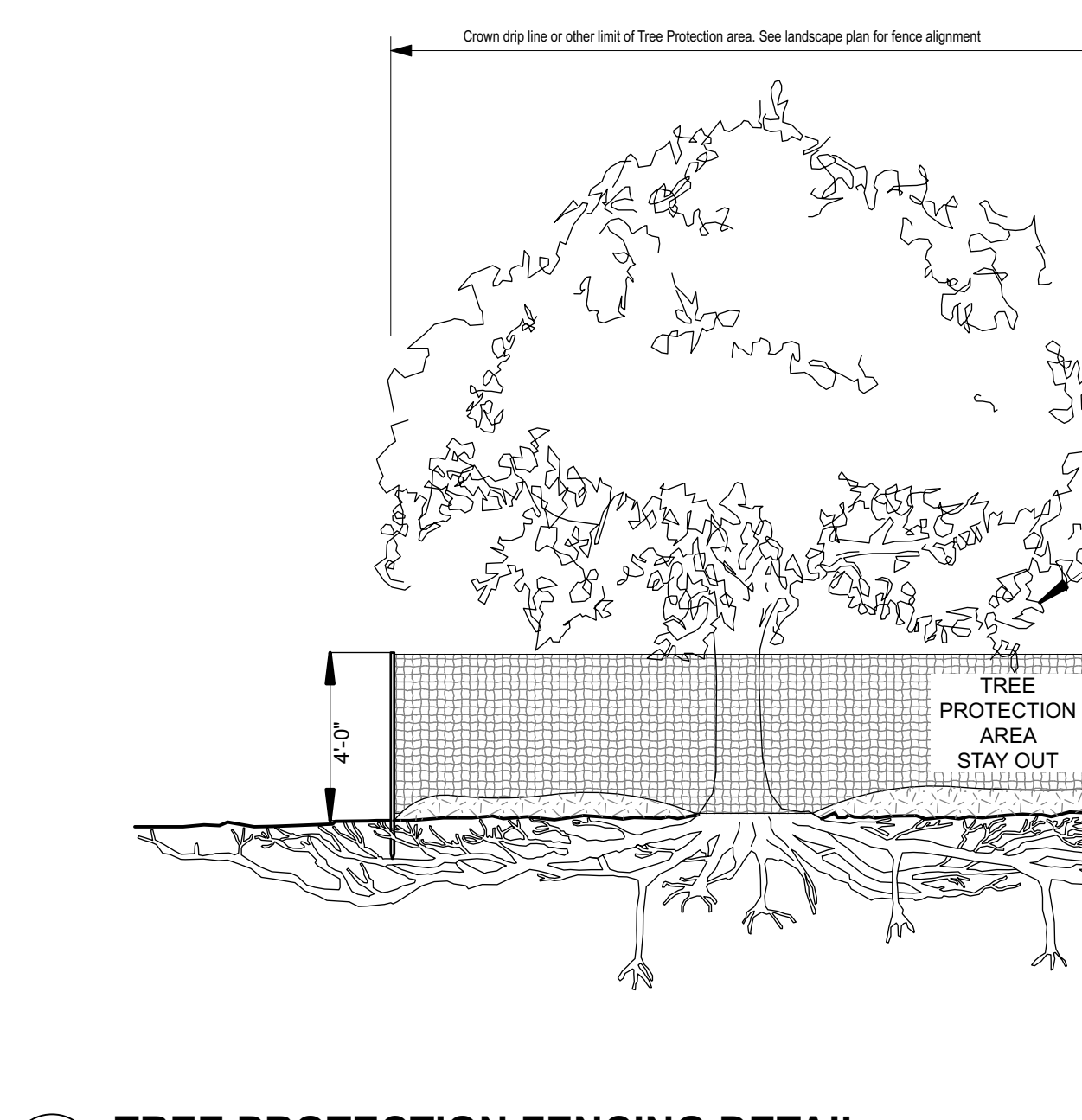
1. Re-set settled plants to proper grade and position. Restore planting saucer and adjacent material and remove dead material.
2. Repair guy wires and stakes as required. Remove all stakes and guy wires after 1 year.
3. Correct defective work as soon as possible after deficiencies become apparent and weather and season permit.
4. Water trees, plants and ground cover beds within the first 24 hours of initial planting, and not less than twice per week until final acceptance.



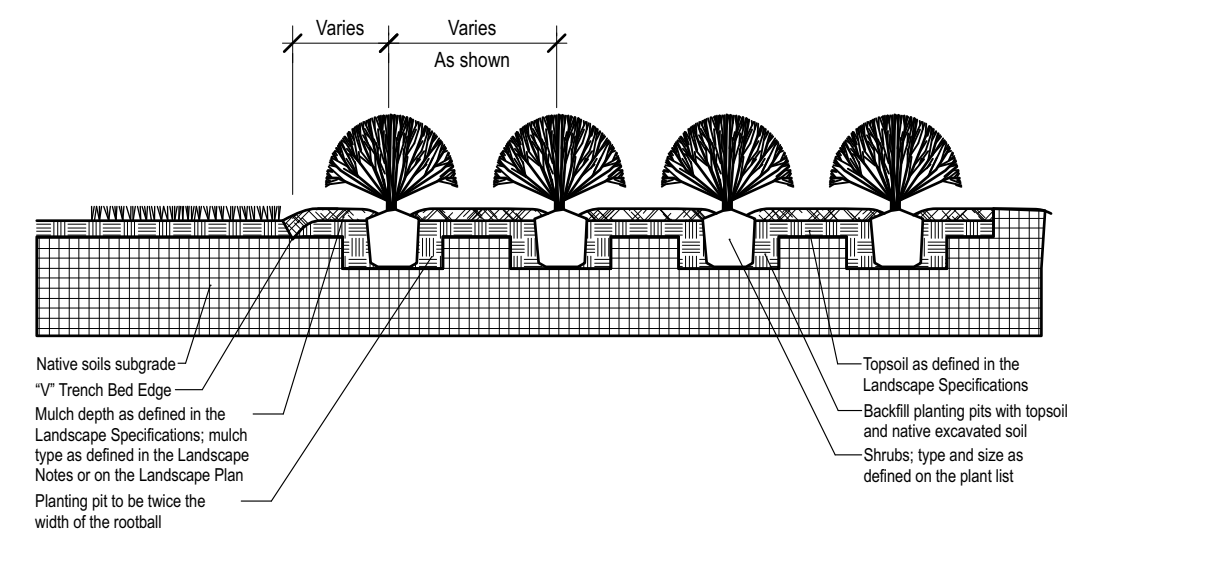
8 TREE PLANTING & STAKING
SCALE: NTS



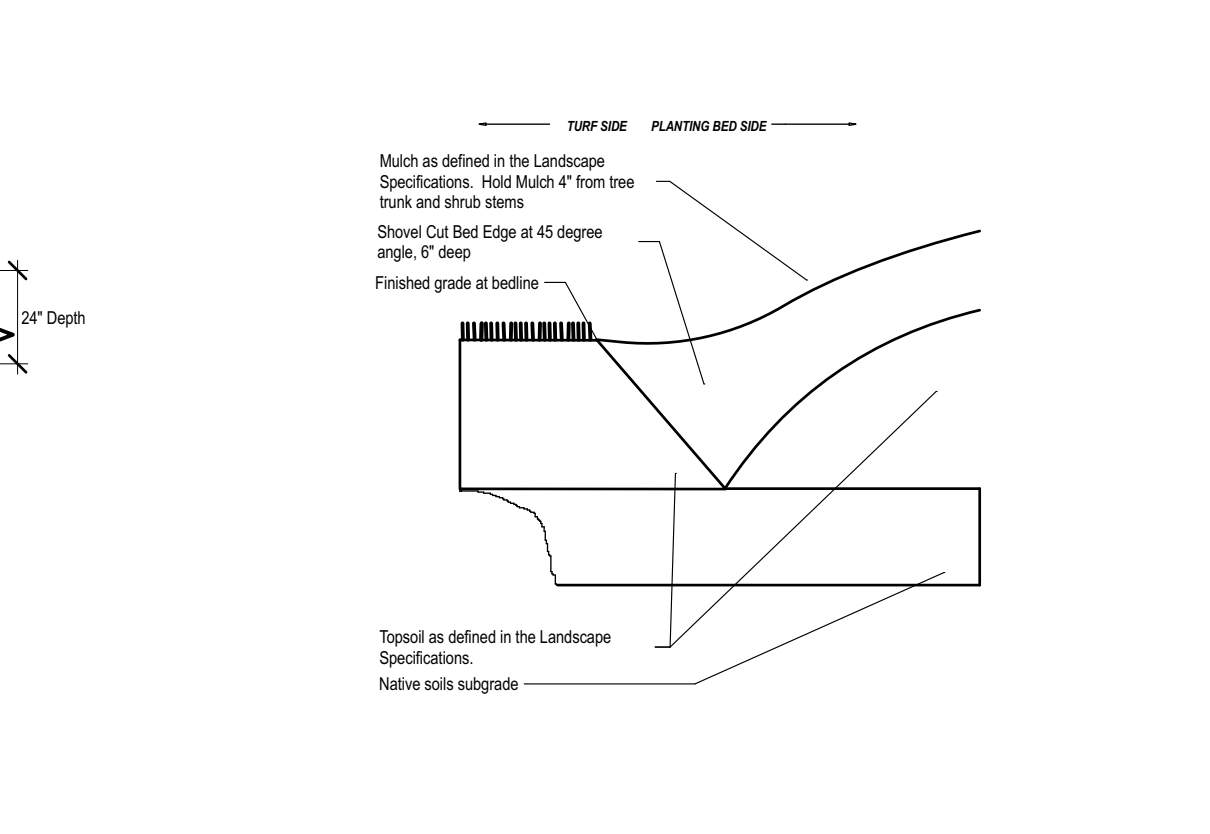
11 GROUND COVER PLANTING DETAIL
SCALE: NTS



14 TREE PROTECTION FENCING DETAIL
SCALE: NTS



9 SHRUB BED PLANTING DETAIL
SCALE: NTS



13 PARKING ISLAND DETAIL
SCALE: NTS



10 'V' TRENCH BED EDGING
SCALE: NTS



REVISION SCHEDULE:

NO.	DATE	BY	DESCRIPTION

MLD PROJECT #:	2022289
DRAWN BY:	MB
CHECKED BY:	AN
DATE:	2/10/23

Landscape Specifications & Details

L-104

PERMIT

George Tabor Azalea



Parson's Juniper



Miscanthus sinensis 'Gracillimus'



Natchez Crepe Myrtle



EXHIBIT B

April 3, 2023

City of Locust Grove
PO Box 900
Locust Grove, GA 30248

Attention: Daunte Gibbs (dgibbs@locustgrove-ga.gov)
Anna Williams (awilliams@locustgrove-ga.gov)

RE: Letter of Intent – Proposed Landscape Request

Daunte/Anna,

On behalf of CarMax, we are submitting the proposed landscaping plan for the above reference project located at Price Drive.

1. We understand the necessity of installing a 6' opaque fence along the east property boundary between CarMax and the residential area. We have updated our landscaping plan to include a 6' opaque fence to address staff's concerns and meet the community's needs. The fence's design will be consistent with the surrounding area's aesthetics and materials to blend in seamlessly with the landscape.
2. We have encountered issues with the specimen trees on the site, which has impacted our ability to meet the required points and density. The area of disturbance is mostly pasture land with 20+ specimen trees within it. The arborist that we obtained to assess the specimen trees found that a majority of the trees were in poor condition (refer to the arborist report on the attached sheet L-001) and most of the "specimen trees" weren't actually specimen size that the surveyor picked up. On the attached plan, we are removing only 8 specimen trees that are in fair or better condition.

We have identified an additional 205 trees ranging from 3" to 8", however, this still leaves us short on points by roughly 50% (refer to the attached sheet L-001). There are site constraints for planting due to 2:1 slopes or future development on the site. We are planting trees with a 4" Cal. to help accommodate some of the specimen tree unit values on the landscape plan. Nevertheless, we are still short 241.8 DU's after accounting for all the site trees, as well as the proposed trees.

3. We are seeking approval for the reduction of the 50' landscaping buffer to 30' due to the significant grading constraints along portions of the property boundaries. This reduction will apply only to the parking lot and the east side of the site, while still satisfying the buffer landscaping requirements and providing the necessary additional space.
4. Following our discussion with staff regarding the proposed operations, we understand that reducing or eliminating landscaping in the storage area behind the fence, as well as in other functional areas within that space, is acceptable, provided that the landscaping in areas outside the fence, such as the auction area and frontage, comply with the ordinance. In accordance with

these requirements, we have ensured that the project adheres to the stated regulations, as depicted on the plans.

We are committed to ensuring that our project does not have any negative impact on the surrounding community. We believe that the proposed fence and updated landscaping plan, along with the buffer reduction, will address your concerns and meet the community's needs. We respectfully request that you approve these requests to allow for the proposed landscaping plan, including the installation of the 6' opaque fence, the removal of the 8 specimen trees, and the reduction of the buffer on the east side of the site and the parking lot.

We are confident that the proposed landscape plan will enable us to move forward with the project while maintaining the highest standards of environmental stewardship and community outreach. Thank you for considering our request. If you require any additional information or documentation, please do not hesitate to contact me.

Sincerely,

Linda Sloan
CenterPoint Integrated Solutions
lsloan@centerpoint-is.com
770-875-4264

EXHIBIT C

Staff requests that the City Council approve or deny our proceeding with approving the proposed landscape plan that is outside the typical scope of administrative authority.

Should the Council approve, Staff will require the following to be shown on the landscape plan:

- 1) The Applicant shall install an opaque privacy fence measuring six (6) to eight (8) feet high in areas of reduced buffering bordering single-family homes to mitigate the buffer reduction from 50' to 30'. This opaque privacy fence shall have a decorative, residential character.
- 2) All areas visible from public right-of-way shall be landscaped in accordance with the City of Locust Grove Code of Ordinances Section 15.42
- 3) Replacement trees shall be planted in accordance with the landscape plan dated April 25, 2023.